



City of El Paso – City Plan Commission Staff Report

Case No: SUSU16-00062 Peyton Pass Commercial Replat A
Application Type: Resubdivision Combination
CPC Hearing Date: October 6, 2016
Staff Planner: Joaquin Rodriguez, (915) 212-1608
rodriguezjx3@elpasotexas.gov
Location: South of Eastlake and East of Peyton
Acreage: 2.124
Rep District: ETJ
Existing Use: Vacant
Existing Zoning: ETJ (Extra Territorial Jurisdiction)
Proposed Zoning: ETJ (Extra Territorial Jurisdiction)
Nearest Park: Ranchos del Sol (2.79 miles)
Nearest School: Eastlake High School (.24 miles)
Park Fees Required: N/A
Impact Fee Area: N/A
Property Owner: Hunt Peyton Estates, LLC and Daddy's Drive Thru, Inc
Applicant: Hunt Peyton Estates, LLC
Representative: TRE & Associates, LLC

SURROUNDING ZONING AND LAND USE

North: ETJ (Extra Territorial Jurisdiction) / Vacant
South: ETJ (Extra Territorial Jurisdiction) / Eastlake High School
East: ETJ (Extra Territorial Jurisdiction) / Residential
West: ETJ (Extra Territorial Jurisdiction) / Vacant

PLAN EL PASO DESIGNATION: G4 Suburban (Walkable)

APPLICATION DESCRIPTION

The applicant proposes to resubdivide 2.124 acres of vacant land in the city's eastside ETJ. The reason for this replat is to relocate a lot line between lots 1 and 2. Eastlake is a major arterial with an existing 140 foot right-of-way width and a 50 foot median and two 11 foot driving lanes in each direction. The applicant is requesting a waiver to improvements to Eastlake Boulevard. Eastlake is substandard compared to the design standards for construction due to insufficient driving lane width. This subdivision was reviewed under current subdivision ordinance.

DEVELOPMENT COORDINATING COMMITTEE

The Development Coordinating Committee recommends approval of Peyton Pass Commercial Replat A on a Resubdivision Combination basis subject to the following comments.

Planning Division Recommendation

Planning recommends approval of Peyton Pass Commercial Replat A subject to the following comments:

Planning recommends approval of the waiver request, in accordance with 19.10.050

- a) *The City Plan Commission may waive such requirements to provide rights-of-way or street improvements to adjacent substandard roads based on any of the following factors:*
 - i) *Fifty per cent of the lots within a quarter mile of the proposed development have already been developed and the existing street improvements are in character with the neighborhood; or,*
 - ii) *The plat is located within the City of El Paso's Extraterritorial Jurisdiction area, is not within the city's annexation path and written documentation from the County of El Paso has been received stating that the substandard road meets all County requirements and the County is willing to accept the dedication of the substandard road;*
 - iii) *For all plats located in the City of El Paso's extraterritorial jurisdiction area, written concurrence from the County of El Paso is required prior to the waiver of any dedication and/or improvements.*

Eastlake is an improved right-of-way. The subdivision lies in the city's extraterritorial jurisdiction, the County Roads and Bridges department has expressed no opposition to the request.

Plan El Paso Goals & Policies

Goal 1.6: The City of El Paso will use the limited authority granted by Texas law to regulate the subdivision of land within its ETJ in order to shape future growth in accordance with Plan El Paso.

Planning and Inspections Department - Land Development

We have reviewed subject plats and recommend **Approval**.

Capital Improvement Department – Parks

We have reviewed **Peyton Pass Commercial Replat "A"**, a resubdivision combination plat map, and on behalf of CID Parks Planning Division we offer Applicant / Engineer the following comments:

Please note that this is a Non-residential subdivision composed of two (2) Commercial lots with a combined **2.12 acres**; Per City Standards a total of **\$2,120.00** would have been required however;

This subdivision is located with-in the City of El Paso Extra Territorial Jurisdiction (ETJ) area but not with-in the areas of potential annexation by the City, therefore meeting the requirements

to be excluded from the calculation for "Parkland / fees" as **IT IS NOT** identified on the official map as described per ordinance Title 19 – Subdivision & Development Plats, **Chapter 19.20 - Parks & Open Space** as noted below:

Capital Improvement Department – Transportation

No comments received.

El Paso Water

The El Paso Water (EPWater) does not object to this request.

General:

The proposed subdivision is located within the East El Paso Extraterritorial Jurisdiction (ETJ) within one of the Paseo Del Este Municipal Utility Districts (MUDs) service area. The Paseo Del Este MUD receives wholesale water and wastewater service from the El Paso Water Utilities – Public Service Board (EPWU-PSB) in accordance with the Paseo del Este Wholesale Contract and EPWU-PSB Rules and Regulations No. 11.

Streets and Maintenance Department

No comments received.

Central Appraisal District

No objections.

County of El Paso

No objections

El Paso Electric Company

No comments Received.

Sun Metro

No comments received.

El Paso County 911 District

No comments received.

El Paso Fire Department

No comments received.

Texas Gas Company

No comments received.

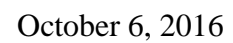
Additional Requirements and General Comments:

1. Submit to the Planning and Inspections Department – Planning Division the following prior to recording of the subdivision.
 - a. Current certified tax certificate(s)
 - b. Current proof of ownership
 - c. Release of access document, if applicable
 - d. Set of restrictive covenants, if applicable
2. Every subdivision shall provide for postal delivery service. The subdivider shall coordinate the installation and construction with the United States Postal Service in determining the type of delivery service for the proposed subdivision. In all cases, the type and location of delivery service shall be subject to the approval of the United States Postal Service.

Attachments

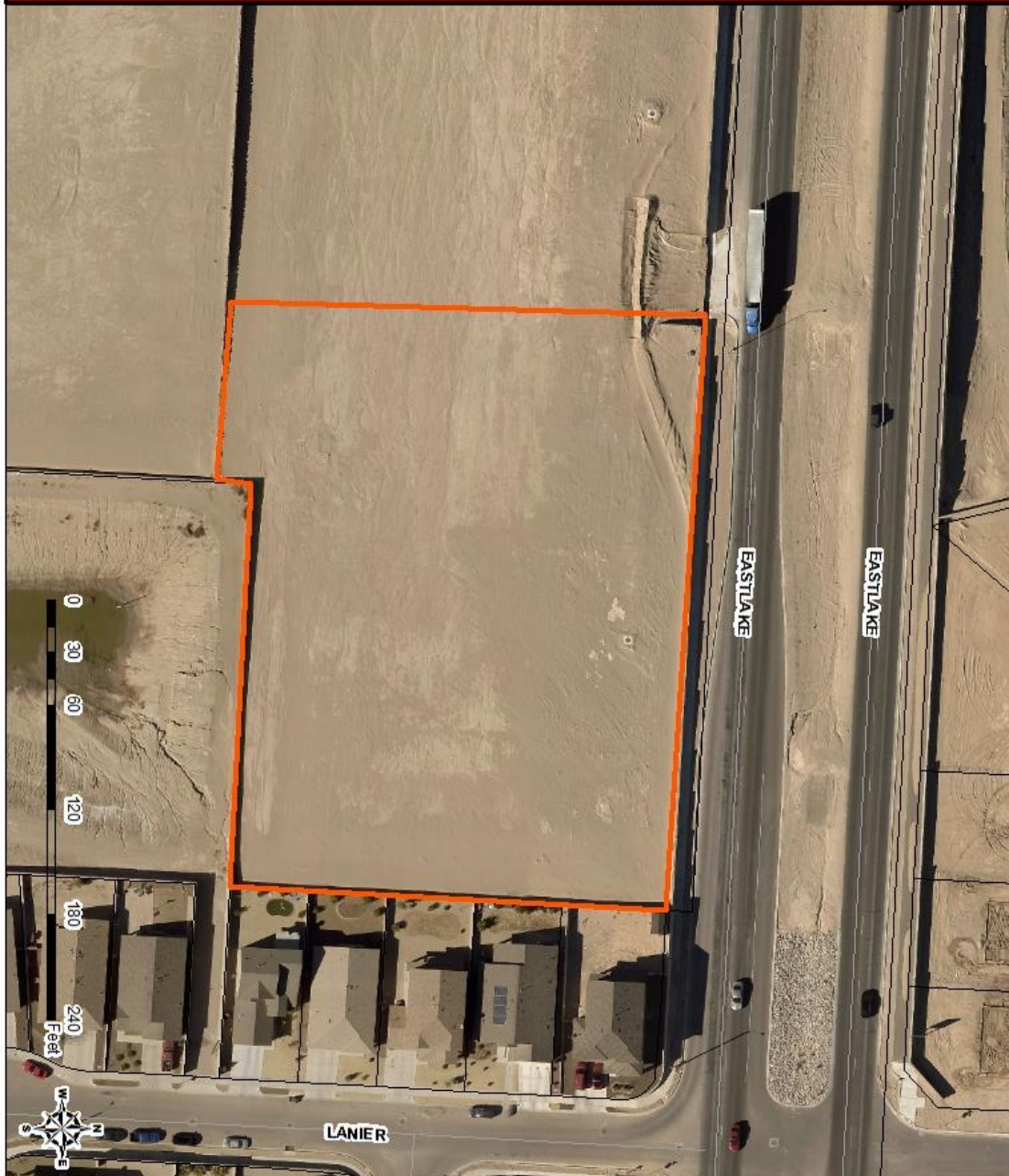
1. Location map
2. Aerial map
3. Preliminary Plat
4. Final Plat
5. Application
6. Waiver Request

Peyton Pass Commercial Replat A

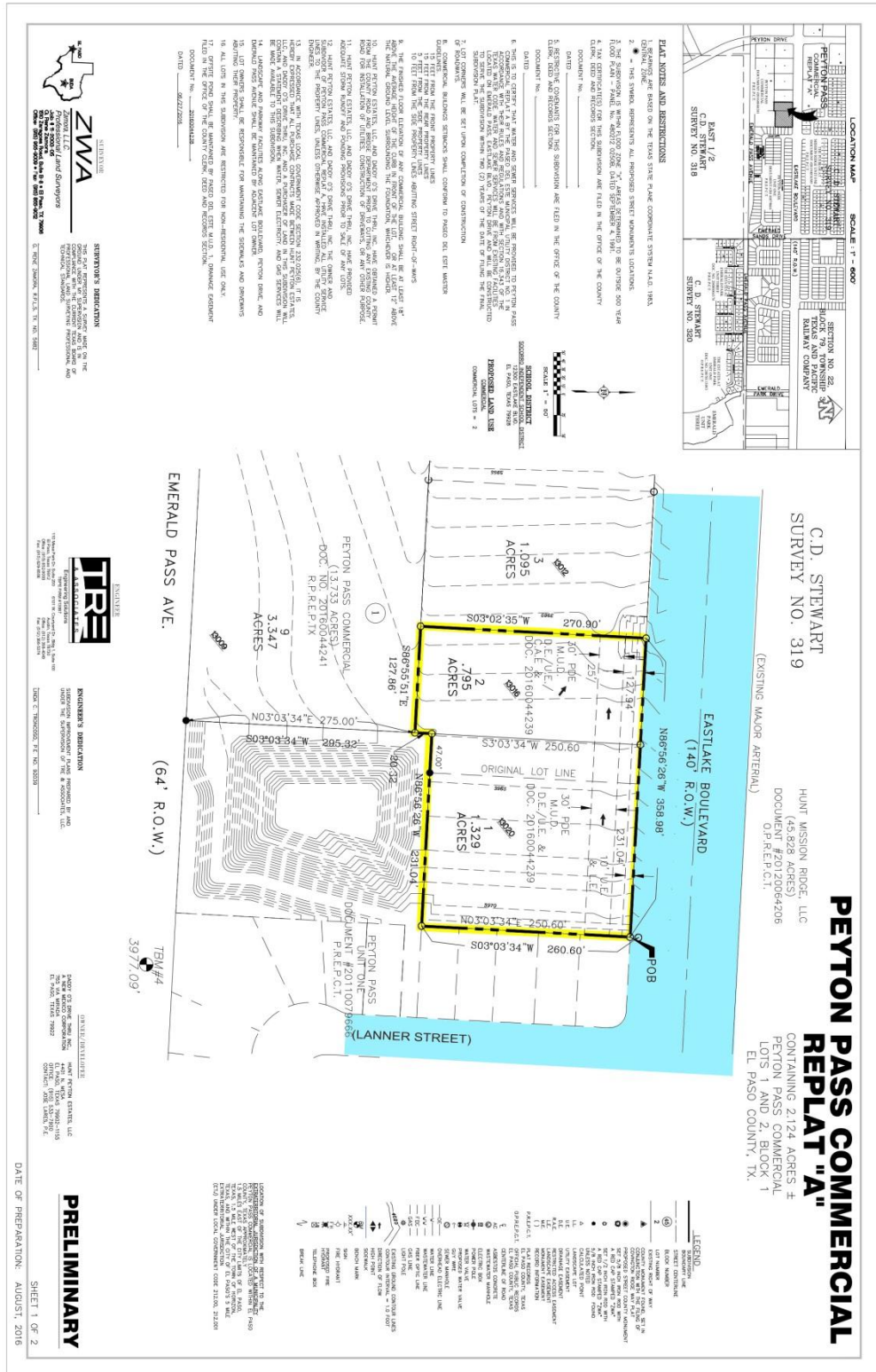


ATTACHMENT 2

PEYTON PASS COMMERCIAL REPLAT A



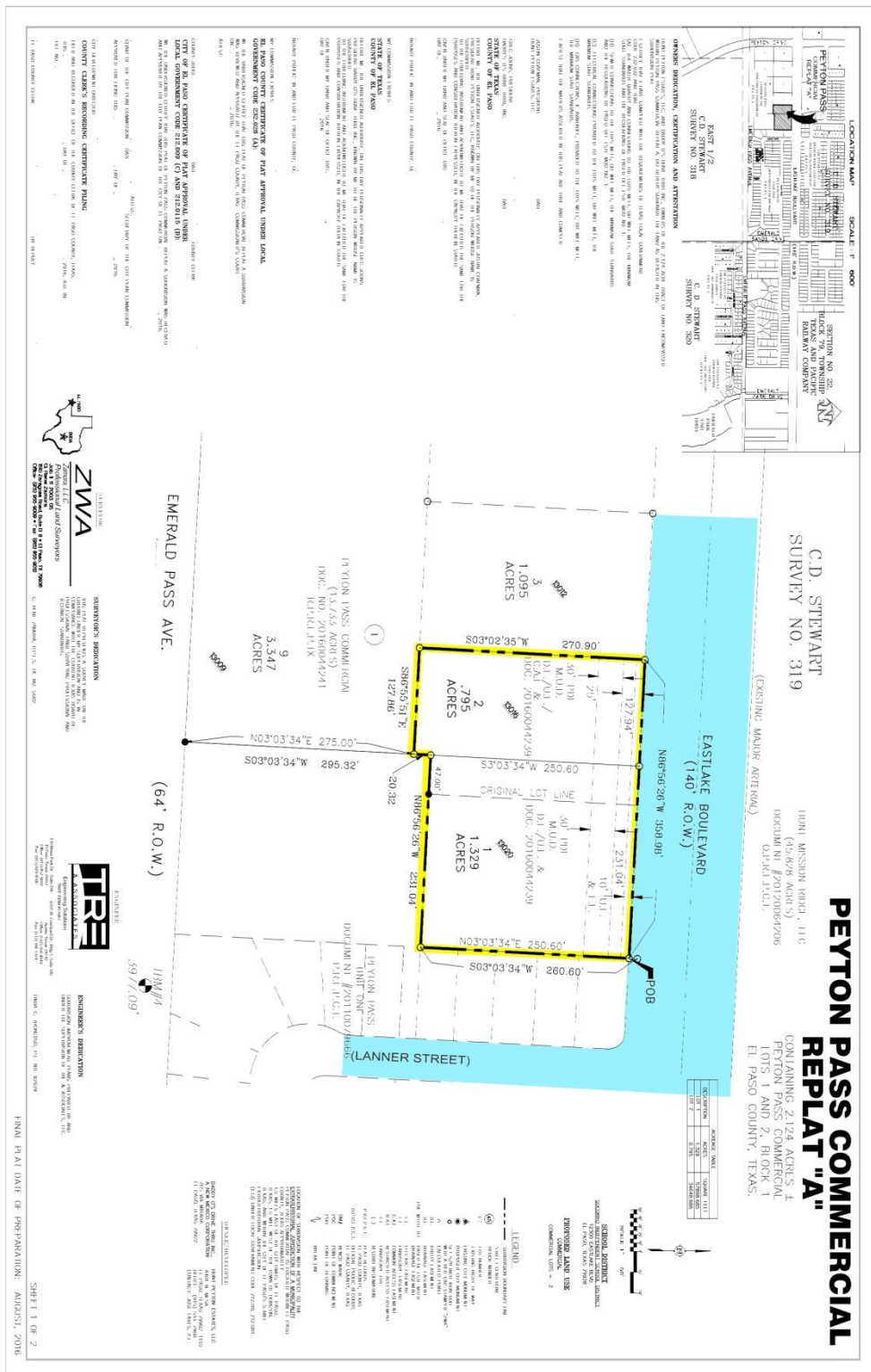
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October 6, 2016



ATTACHMENT 5



CITY PLAN COMMISSION APPLICATION FOR RESUBDIVISION COMBINATION SUBDIVISION APPROVAL

DATE: 09/07/2016

FILE NO. SUSU16-00062

SUBDIVISION NAME: Peyton Pass Commercial Replat "A"

1. Legal description for the area included on this plat (Tract, Block, Grant, etc.)
A portion of C.D. Stewart Survey No. 319 El Paso County, Texas containing 2.124 ±
2. Property Land Uses:

	<u>ACRES</u>	<u>SITES</u>		<u>ACRES</u>	<u>SITES</u>
Single-family	_____	_____	Office	_____	_____
Duplex	_____	_____	Street & Alley	_____	_____
Apartment	_____	_____	Ponding & Drainage	_____	_____
Mobile Home	_____	_____	Institutional	_____	_____
P.U.D.	_____	_____	Other (specify below)	_____	_____
Park	_____	_____		_____	_____
School	_____	_____	Total No. Sites	<u>2</u>	_____
Commercial	<u>2.124</u>	<u>2</u>	Total (Gross) Acreage	<u>2.124</u>	_____
Industrial	_____	_____			
3. What is existing zoning of the above described property? N/A Proposed zoning? N/A
4. Will the residential sites, as proposed, permit development in full compliance with all zoning requirements of the existing residential zone(s)? Yes _____ No _____
5. What type of utility easements are proposed: Underground _____ Overhead _____ Combination of Both X
6. What type of drainage is proposed? (If applicable, list more than one)
Street flow to storm drain system located in lot 4 within Peyton Pass Commercial. Runoff will then be conveyed to offsite retention pond
7. Are special public improvements proposed in connection with development? Yes _____ No X
8. Is a modification or exception of any portion of the Subdivision Ordinance proposed? Yes _____ No X
If answer is "Yes", please explain the nature of the modification or exception _____
9. Remarks and/or explanation of special circumstances: N/A
10. Improvement Plans submitted? Yes _____ No X
11. Will the proposed subdivision require the city to review and decide whether this application is subject to the standards in effect prior to the effective date of the current applicable standards? Yes _____ No X
If yes, please submit a vested rights petition in accordance with Title I (General Provisions) Chapter 1.04 - Vested Rights

City Development Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

12. Owner of record 1) Hunt Peyton Estates, LLC, 4401 N. Mesa, El Paso, TX 79902, (915) 533-7900
2) Daddy O's Drive Thru, Inc. A New Mexico Corporation 765 Via Mirada, El Paso, TX 79922 (915) 433-2790
 (Name & Address) (Zip) (Phone)

13. Developer Hunt Peyton Estates, LLC, 4401 N. Mesa, El Paso, TX 79902, (915) 533-7900
 (Name & Address) (Zip) (Phone)

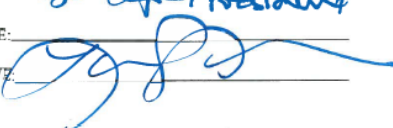
14. Engineer TRE & Associates, LLC 110 Mesa Park Dr., Suite 200, El Paso, TX 79912 (915) 852-9093
 (Name & Address) (Zip) (Phone)

**Effective September 1, 2014, a 3% Technology fee has been added to all Planning application fees.*

OWNER SIGNATURE: _____

REPRESENTATIVE: _____

*Hunt Peyton Estates, LLC
 for El Paso Planning*



NOTE: SUBMITTAL OF AN APPLICATION DOES NOT CONSTITUTE ACCEPTANCE FOR PROCESSING UNTIL THE PLANNING DEPARTMENT REVIEWS THE APPLICATION FOR ACCURACY AND COMPLETENESS.

City Development Department
 311 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

ATTACHMENT 6



Engineering Solutions

September 28, 2016

E-Mail Delivery

Mr. Joaquin Rodriguez
Planning and Inspections
811 Texas Avenue
El Paso, Texas 79901

Re: Peyton Pass Commercial Replat "A"
Waiver Request for Eastlake Boulevard
TRE No.: 1502-11403-14

Dear Mr. Rodriguez:

On behalf of Hunt Peyton Estates, LLC and Daddy O's Drive Thru Inc., TRE & Associates, LLC is respectfully requesting a waiver for **Section 19.10.050** to allow the following cross section.

- **Waiver Request for a 110 ft. R.O.W. Major Arterial Street:**
We are asking for a waiver request for the 110 ft. right-of-way Major Arterial. Eastlake is currently at 140 feet of right-of-way with 33 feet of pavement, 5 feet of parkway and 5 feet of sidewalk within the south one-half of the right-of-way abutting the plat. The El Paso County is currently under the design phase and have funding to reconstruct Eastlake in the near future (early 2017) to meet all minimum requirements for the 110' Major Arterial Street cross section.

We respectfully request the above mentioned waiver request to the roadway standards. Should you have any questions or need any additional information, please do not hesitate to contact me or Ms. Linda C. Troncoso at 915-852-9093.

Sincerely,

TRE & Associates, LLC

A handwritten signature in blue ink, appearing to read 'Abel Pineda', is written over the company name.

Abel Pineda, E.I.T.
Project Manager

AP:cc

cc: Ms. Linda C. Troncoso, P.E.; TRE & Associates, LLC
Mr. Jose L. Lares, P.E.; Hunt Peyton Estates, LLC
Mr. Joel Guzman; Hunt Peyton Estates, LLC
Mr. Greg Johns; Daddy O's Drive Thru, Inc.

110 Mesa Park Drive, Ste. 200 El Paso, Texas 79912 P (915) 852-9093 F (915) 629-8506
6101 W. Courtyard Drive, Bldg. One, Ste. 100 Austin, Texas 78730 P (512) 358-4049 F (512) 366-5374
www.tr-eng.com TBPE Firm No. 13987